

HISTORIC AND DESIGN REVIEW COMMISSION

September 07, 2022

HDRC CASE NO: 2022-430
ADDRESS: 130 KING WILLIAM
LEGAL DESCRIPTION: NCB 737 BLK 2 LOT 7 & 8
ZONING: RM-4, H, HL
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
LANDMARK: Individual Landmark
APPLICANT: Marques White/Legacy Home Improvements
OWNER: SAN ANTONIO ART LEAGUE
TYPE OF WORK: Porch roof replacement with pitch change
APPLICATION RECEIVED: July 17, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Jessica Anderson

REQUEST:

The applicant requests a Certificate of Appropriateness for approval to replace the flat membrane roof of the wraparound porch with a pitched standing-seam metal roof.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

3. Roofs

A. MAINTENANCE (PRESERVATION)

- i. *Regular maintenance and cleaning*—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.
- ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.
- iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.
- iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.
- v. *Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.
- vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.
- vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

FINDINGS:

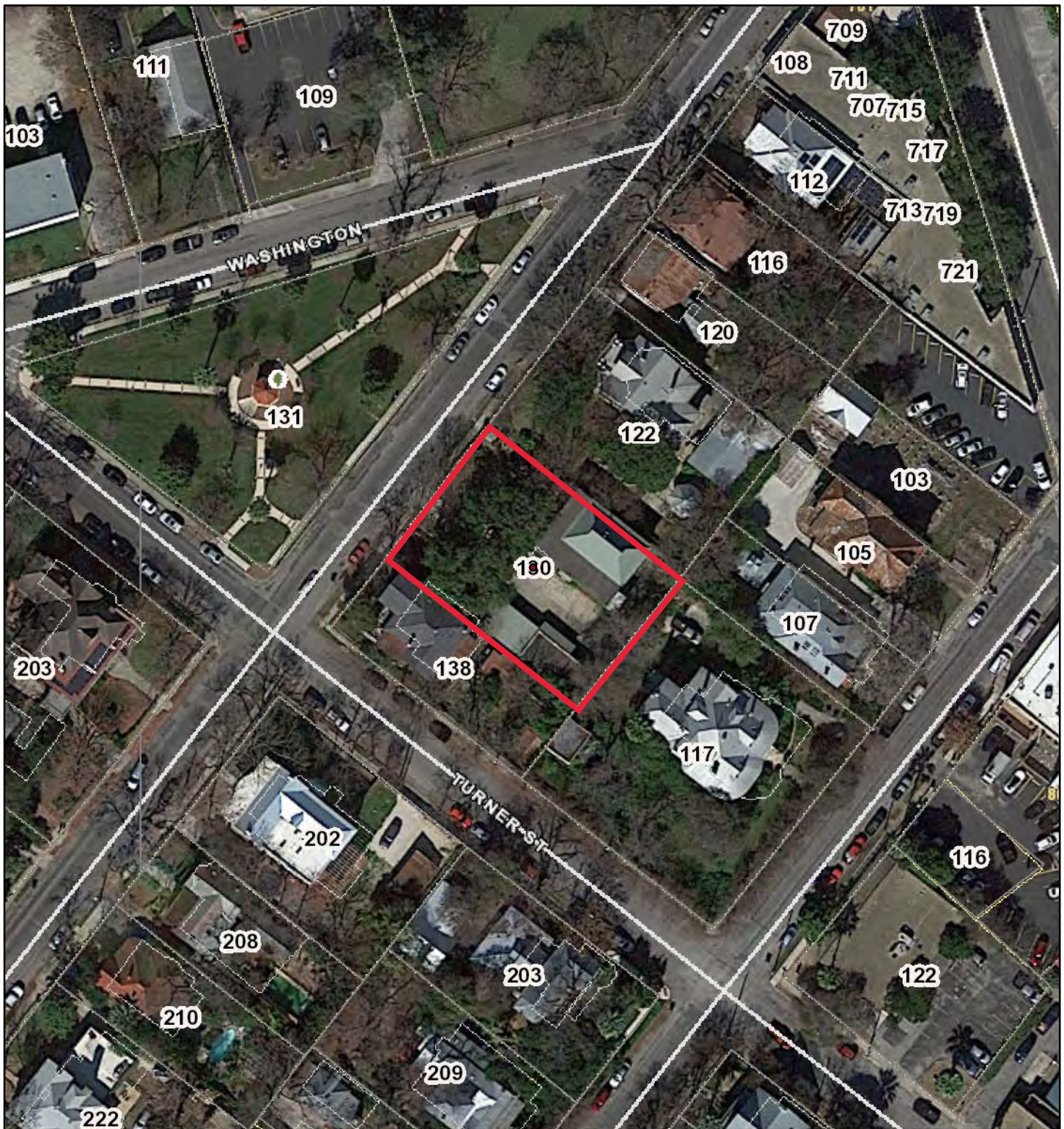
- a. The primary structure located at 130 King William is a 2.5-story residential structure constructed in approximately 1915 in the Neoclassical style. The property is contributing to the King William Historic District.
- b. **ADMINISTRATIVE APPROVAL:** The following scopes of work, included in the initial request by the applicant, were approved by staff via administrative Certificate of Appropriateness: in-kind replacement of the standing seam metal hipped roof, not including the flat porch roof. This scope of work does not require review by the Historic and Design Review Commission.
- c. **DESIGN REVIEW COMMITTEE:** The applicant met with the Design Review Committee on Tuesday, August 23, 2022. Notes are included in this case file.
- d. **ROOF:** The primary roof form is a standing-seam metal Dutch hip roof with a flat membrane roof on the porch that wraps around the northwest and southwest sides of the second floor. The applicant proposes removing the flat roof and installing a standing-seam metal roof with a 2/12 pitch. While installation of a standing seam metal roof conforms to Historic Design Guidelines, Guideline 3.B.ii states that the original shape, line, pitch, and overhang of historic roofs should be preserved when replacement is necessary. Staff finds the proposed change in roof pitch does not conform to guidelines.
- e. **MATERIALS:** The applicant proposes replacing the current membrane roof of the wraparound porch with a standing-seam metal roof. Guideline 3.B.vi states that metal roofs may be used on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Staff finds the proposed material conforms to this guideline.

RECOMMENDATION:

Staff recommends approval to replace the flat membrane roof of the wraparound porch with a metal roof based on findings b and c, with the following stipulation:

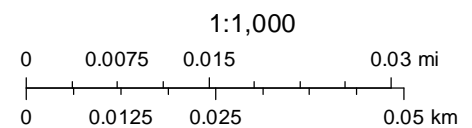
- i. That the pitch of the roof remains unchanged when the new roof is installed or include a low enough profile as to not be visible from the public right-of-way.

City of San Antonio One Stop



August 12, 2022

- CoSA Addresses
- Community Service Centers
- Pre-K Sites
- CoSA Parcels
- BCAD Parcels





CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

HISTORIC AND DESIGN REVIEW COMMISSION

COMMISSION ACTION

This is not a Certificate of Appropriateness and cannot be used to acquire permits

August 17, 2022

HDRC CASE NO: 2022-430
ADDRESS: 130 KING WILLIAM
LEGAL DESCRIPTION: NCB 737 BLK 2 LOT 7 & 8
HISTORIC DISTRICT: King William
LANDMARK: Individual Landmark
APPLICANT: Marques White/Legacy Home Improvements - 8206 Roughrider Dr. #104
OWNER: SAN ANTONIO ART LEAGUE - 130 KING WILLIAM
TYPE OF WORK: Roofing

REQUEST:

The applicant requests a Certificate of Appropriateness for approval to replace the flat metal roof of the wraparound porch with a pitched standing-seam metal roof.

FINDINGS:

- a. The primary structure located at 130 King William is a 2.5-story residential structure constructed in approximately 1915 in the Neoclassical style. The property is contributing to the King William Historic District.
- b. **ROOF:** The primary roof form is a standing-seam metal Dutch hip roof with a flat roof on the porch that wraps around the northwest and southwest sides of the second floor. The applicant proposes removing the flat roof and installing a standing-seam metal roof with a 2/12 pitch. While installation of a standing seam metal roof conforms to Historic Design Guidelines, Guideline 3.B.ii states that the original shape, line, pitch, and overhang of historic roofs should be preserved when replacement is necessary. Staff finds the proposed change in roof pitch does not conform to guidelines.
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RECOMMENDATION:

Staff recommends approval to replace the flat metal roof of the wraparound porch based on findings b and c, with the following stipulation:

- i. That the pitch of the roof remains unchanged when the new roof is installed or include a low enough profile as to not be visible from the public right-of-way.

COMMISSION ACTION:

Referred to a committee.

Shanon Shea Miller
Historic Preservation Officer



CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

Historic and Design Review Commission
Design Review Committee Report

DATE: 23 August 2022

HDRC Case #: 2022-430

Address: 130 King William

Meeting Location: Webex

APPLICANT: Mark White

DRC Members present: Gabe Velasquez, Monica Savino, Jimmy Cervantes, Anne Marie Grube, Lisa Garza

Staff Present: Jessica Anderson

Others present: none

REQUEST: The applicant requests a Certificate of Appropriateness for approval to replace the flat metal roof of the wraparound porch with a pitched standing-seam metal roof.

COMMENTS/CONCERNS:

Savino: Planning on replacing tall roof as well?

White: Yes

Savino: Type of ridge?

White: crimped ridge

Velasquez: Roof design remain the same and use sloped insulation board. Part of the character is that it remains level.

White: desire to change pitch is to prevent rust

Velasquez: But Galvalume would resist rust. Where it junctions is the problem. So introduce a cant, minimize the amount of slope. But to add a hip introduces a hip. Not consistent with how they'd do wraparound porches.

White: Following recommendation of HDRC to design it with a hip. The main roof is probably 12/14 pitch, so amount of rain coming down on it is tremendous. Rain dumps on perimeter of cone.

Velasquez: It's a matter of how you design away from where water is impacting. If you used TPO, could use walk mats, or use soldered steel. You're altering the design significantly. Your solution only includes minimal alteration to that condition of a flat porch roof.

White: This will be framed and decked as if it were built into the structure.

Savino: How much higher to get appropriate junction?

White: 10' and 15', both at same height—about 20" on the 10' span. There's a 14' cone.

Savino: Hips used in Victorian porch coverings. Not sure if height is optimum, but suggest keeping it as low as you feasibly can for runoff.

White: Height will be at top of the band in photo of adjuster on roof from HDRC exhibits.

Velasquez: Opportunity to use a modern material to deal with the junction.

[Staff clarified that it's not the roof material that requires HDRC review, it's the change in porch roof pitch.]

White: Goal was to address recommendation of HDRC—redesign and show it wouldn't be visible from ROW. If these items are met, are there reasons for discussing alternatives?

Velazquez: Is the issue connecting TPO to a metal roof?

White: Just want to make sure water sheds. There is standing water on the roof—goal is to not make that the case.

Velazquez: Ponding is because the decking or joists have bent. If you're going to tear it out, you can ensure it's flat and incorporate a sloped drainage board.

Cervantes: Agree with other commissioners in their concepts and approach. You don't want standing water with any design. Design should minimize pooling water and minimize damage to roof. Err on the side of changing the pitch or a slight hip that would mitigate the problems and keep it as historically accurate as you can.

OVERALL COMMENTS:

Flat roof is an historic condition. Concerns about change to historic roof form interrupting clean line of edge of porch roof.

SAALM

SAN ANTONIO ART LEAGUE & MUSEUM

130 King William Street
San Antonio, Texas 78204
210-223-1140
saalm@saalm.org

August 11, 2022

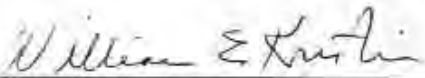
Historic Design and Review Commission

Dear Commission Members:

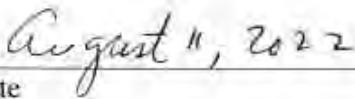
The San Antonio Art League and Museum (SAALM) respectfully requests that the Commission approve its proposed plan for replacement of the roof at 130 King William St. The plan includes replacing the current flat roof which covers the veranda with a slightly pitched roof covered with metal instead of the current composition roofing material.

The main reason for adding the pitch to the roof is to prevent water leakage which has occurred in the past where the pitched metal roof joins the flat composition roof. In addition, the change in pitch will allow the entire roof on that section of the building to be covered with metal. This will make the look of the roof more aesthetically pleasing and historically consistent and will greatly extend the lifetime of the roof on that portion. We believe that the minor modification will not significantly alter the appearance of the historic building, especially from a viewing angle on the ground level.

Thank you for consideration of our request in this matter.



William E. Kurtin
Treasurer
San Antonio Art League and Museum



Date



8206 Roughrider Dr. #104 San Antonio, TX 78239

San Antonio License # H922492

08/29//2022

We received recommendation that: That the pitch of the roof remains unchanged when the new roof is installed **or include a low enough profile as to not be visible from the public right-of-way.** We are pleased to provide additional supporting information that shows that our proposal meets those criteria and in addition, photos showing a similar design detail already existing in a similar property in the 100 block of City Street within the King William Historic District.

To quell any potential concern of there being a noticeable change in aesthetic due to the proposed pitch change at 130 King William, we took photos from about 9ft high from various locations around the property. As you can see, the bottom ½ of the more than 12' high crown portion of the roof is completely invisible in some photos taken from across the street, and in the photos taken closer or on the property, the crown cannot even be seen at all.

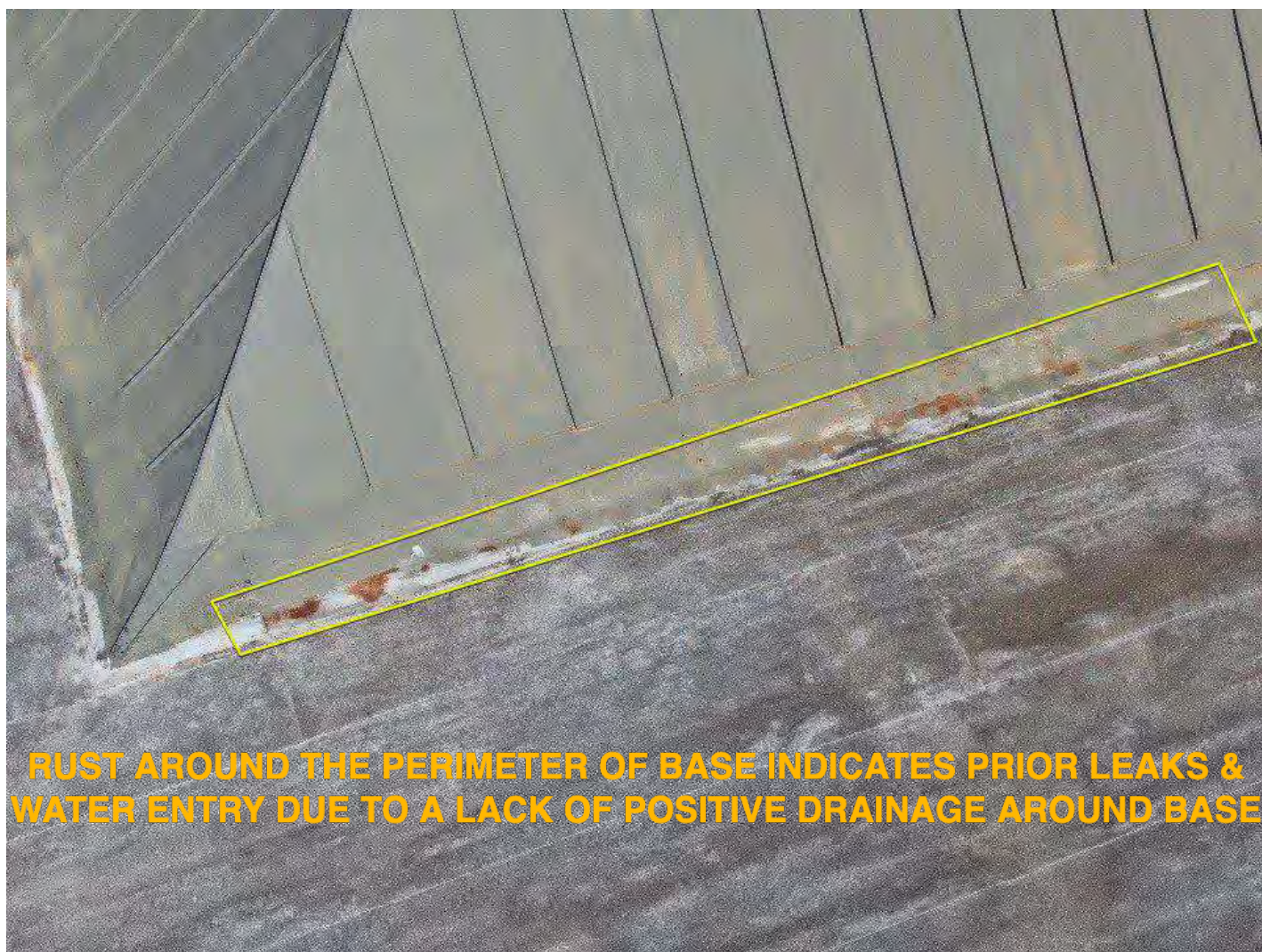
To achieve our minimal pitch transition just 20" inches (less than 2 feet) above the current base which will decline toward the eave from there. This minimal change would provide much needed positive drainage and peace of mind for the museum, while remaining non-noticeable from street level, with many feet to spare in that regard. This minor change will undoubtedly meet the committee's request to include a low enough profile as to not be visible from the public right-of-way, while maintaining historical design and protecting & preserving the building.

We thank you in advance for your consideration.

Mark White
Legacy Home Improvements-Owner
210-900-3349
mwhite@legacytx.com

EXISTING LEAK DUE TO POOR DESIGN & LACK OF POSITIVE DRAINAGE





RUST AROUND THE PERIMETER OF BASE INDICATES PRIOR LEAKS & WATER ENTRY DUE TO A LACK OF POSITIVE DRAINAGE AROUND BASE







24/08

GENERAL NOTES

ROOF PLAN

1. CONTRACTOR TO PROVIDE ADEQUATE VENTILATION PER RMBC, IRC 2015

LEGEND

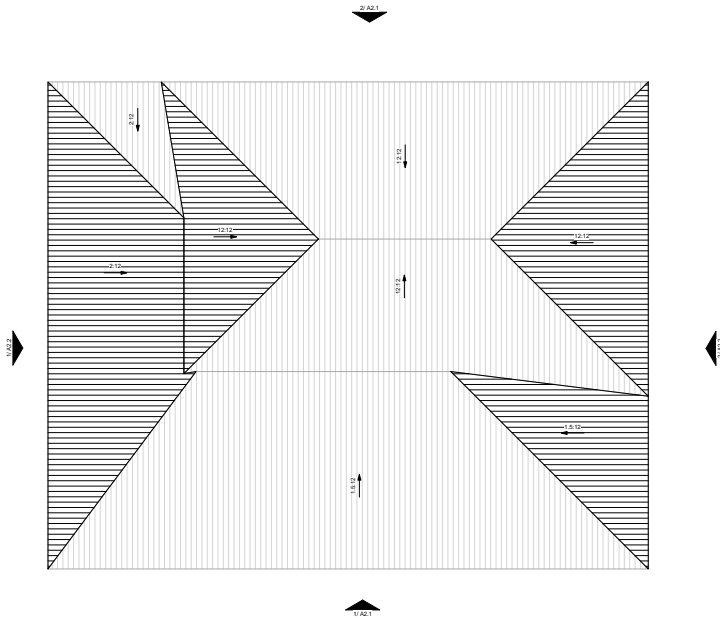
ROOF PLAN



ARCHITECTURAL SHINGLES



EXTERIOR WALL STUD BELOW ROOF



1 ROOF PLAN

1/4" = 1'-0"



PROJECT

Roof Elevations

PROJECT # 220723

130 King William in San Antonio,

REVISIONS

No. Description Date

PROJECT STATUS

ROOF MODIFICATION

ISSUE DATE

08.23.2022

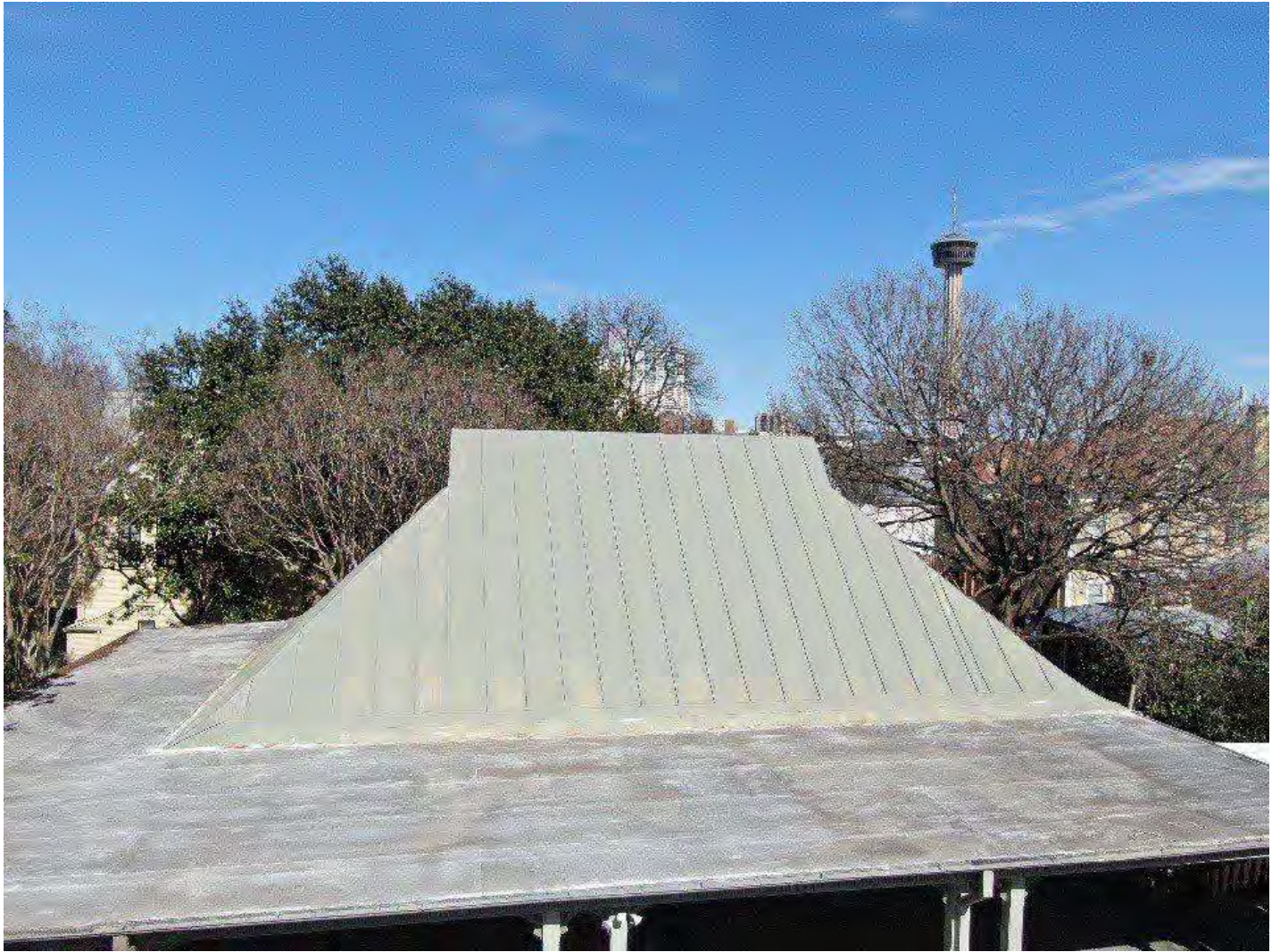
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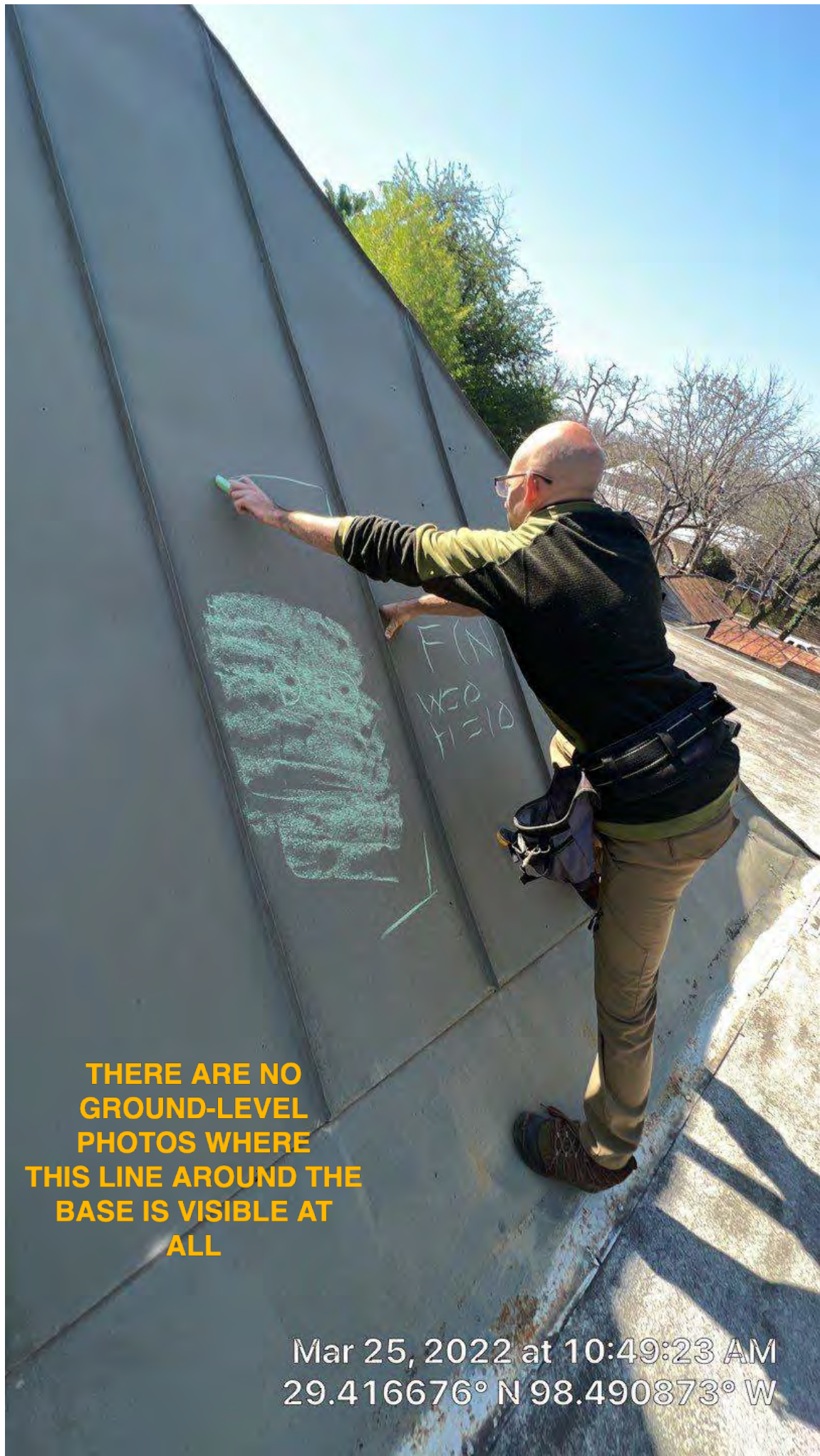
ROOF PLAN

SHEET NUMBER

A3.1

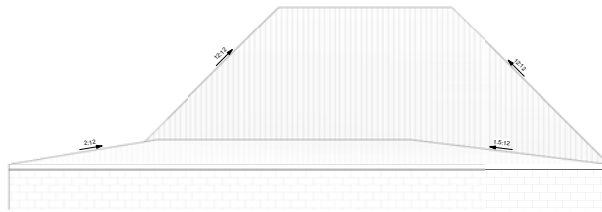
08/23/2022 2:18:40 PM





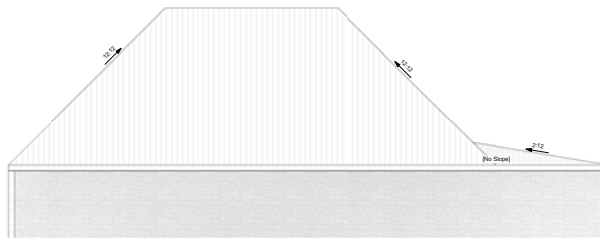
**THERE ARE NO
GROUND-LEVEL
PHOTOS WHERE
THIS LINE AROUND THE
BASE IS VISIBLE AT
ALL**

Mar 25, 2022 at 10:49:23 AM
29.416676° N 98.490873° W



1 FRONT ELEVATION

1/4" = 1'-0"



2 REAR ELEVATION

1/4" = 1'-0"

PROJECT

Roof Elevations

PROJECT # 220723

130 King William in San Antonio,

REVISIONS

No.	Description	Date

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ROOF MODIFICATION

ISSUE DATE

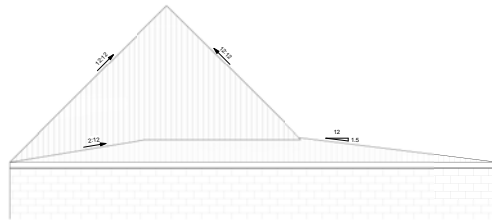
08.23.2022

SHEET NAME

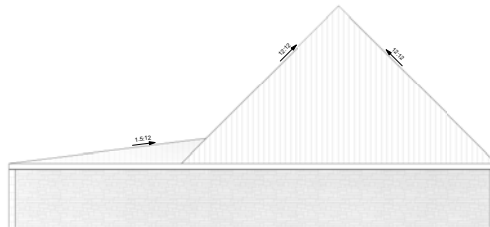
EXTERIOR ELEVATIONS

SHEET NUMBER

A2.1



1 LEFT ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



PROJECT

Roof Elevations

PROJECT # 220723

130 King William in San Antonio,

REVISIONS

No.	Description	Date
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PROJECT STATUS

ROOF MODIFICATION

ISSUE DATE

08.23.2022

SHEET NAME

EXTERIOR ELEVATIONS

SHEET NUMBER

A2.2

ONLY THE TOP 1/2 IS VISIBLE





**FRONT VIEW FROM ACROSS THE STREET
THE LOWER HALF OF THE TURRET CANNOT BE SEEN FROM THE PUBLIC
RIGHT OF WAY**



**FRONT VIEW FROM ACROSS THE STREET
THE TURRET CAN BARELY BE SEEN FROM THE PUBLIC RIGHT OF WAY**





ALTERNATIVE VIEW FROM ACROSS THE STREET

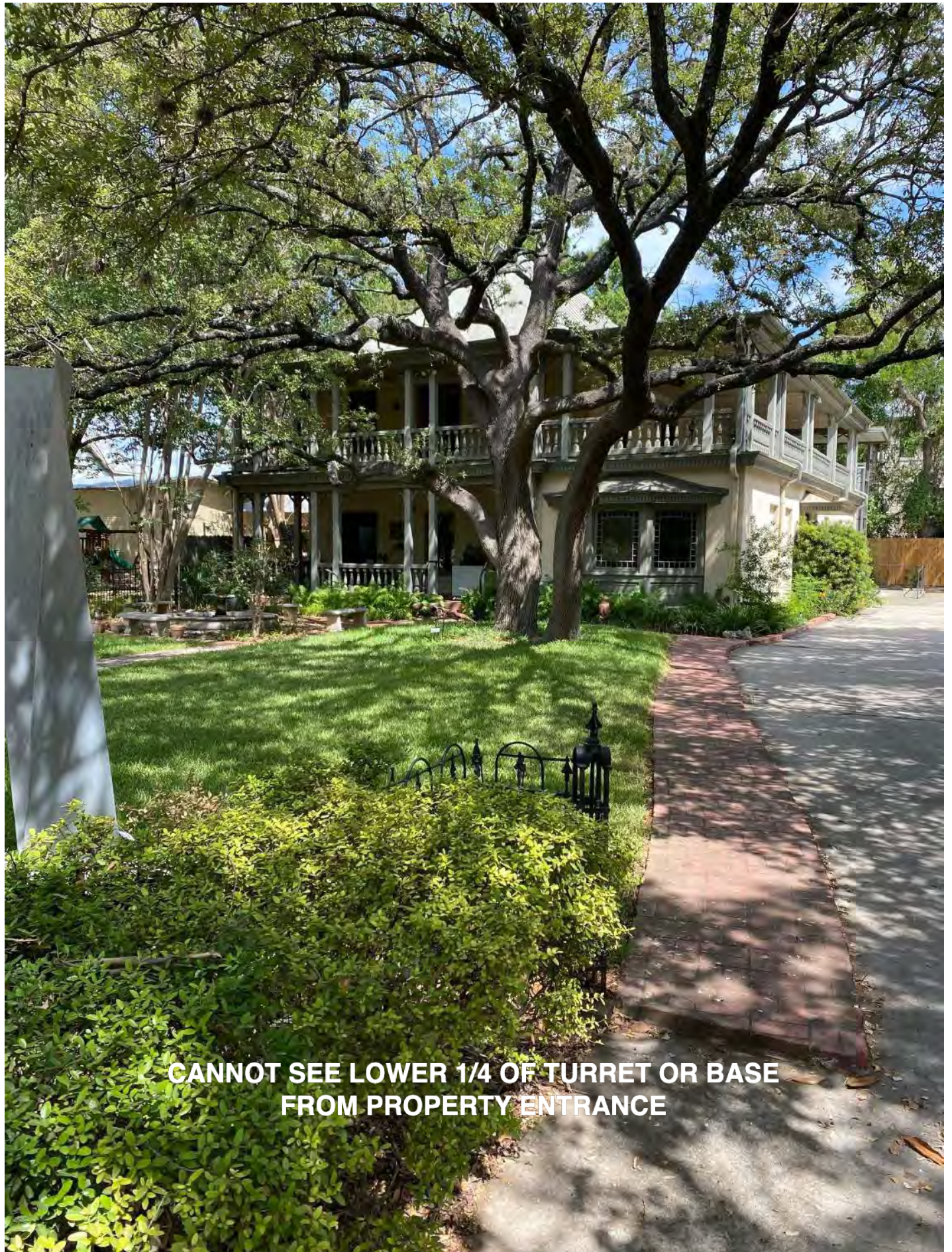












**CANNOT SEE LOWER 1/4 OF TURRET OR BASE
FROM PROPERTY ENTRANCE**





BOTTOM 1/2 NOT SEEN







































**VIEW FROM NEXT BUILDING
TOP OF TURRET BARELY SEEN**

























8206 Roughrider Dr. #104 San Antonio, TX 78239



SIMILAR PROPERTY W/ SIMILAR DESIGN
100 BLOCK OF CITY STREET INSIDE OF THE
KING WILLIAM HISTORIC DISTRICT



























122 MADISON ST.
SAN ANTONIO, TX 78204

PHONE: (210) 227-8786
FAX: (210) 227-8030

INFO@OURKWA.ORG
WWW.OURKWA.ORG

August 16, 2022

Historic Design and Review Commission
1901 S Alamo St
San Antonio, Texas 78204

Re: 130 King William St. - Case 2022-430 King William Historic District
Certificate of Appropriateness for a new metal roof

Dear Commissioners,

The King William Association Architectural Advisory Committee reviewed the staff findings and recommendations and suggest that the application be approved the slightly increase the porch roof pitch to improve drainage and eliminate roof leaks. Joints where flat membrane roofs intersect pitched metal roofs are prone to leak and should be avoided. The applicants proposed increase in the pitch of the porch roof will allow the installation of metal flashings to join the existing standing seam roof to a new standing seam porch roof. We concur with the applicants assessment that this slight change in pitch will not be visible, however we suggest that the applicant incorporate hip conditions at the porch ends in lieu of the visible "walls" indicated on the roof plan sketch.

Sincerely,

Mickey Conrad
Chair, Architectural Advisory Committee

Shawn Campbell
President, KWA Board of Directors